



**DEVELOPMENT PERMIT NO. DP001227**

**RIVERSTONE PLACE INC.**  
Name of Owner(s) of Land (Permittee)

**20 BARSBY AVENUE**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**STRATA LOT 12 SECTION 1 NANAIMO DISTRICT STRATA PLAN  
EPS6927**

**PID No. 031-311-466**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Retaining Wall Section and Details**  
**Schedule D Vegetation Composition Plan**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

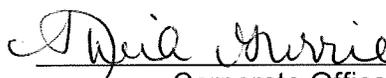
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.10.5 Fence Height* – to increase the maximum allowable fence height from 3.0m to 3.85m for a terraced retaining wall.

### CONDITIONS OF PERMIT

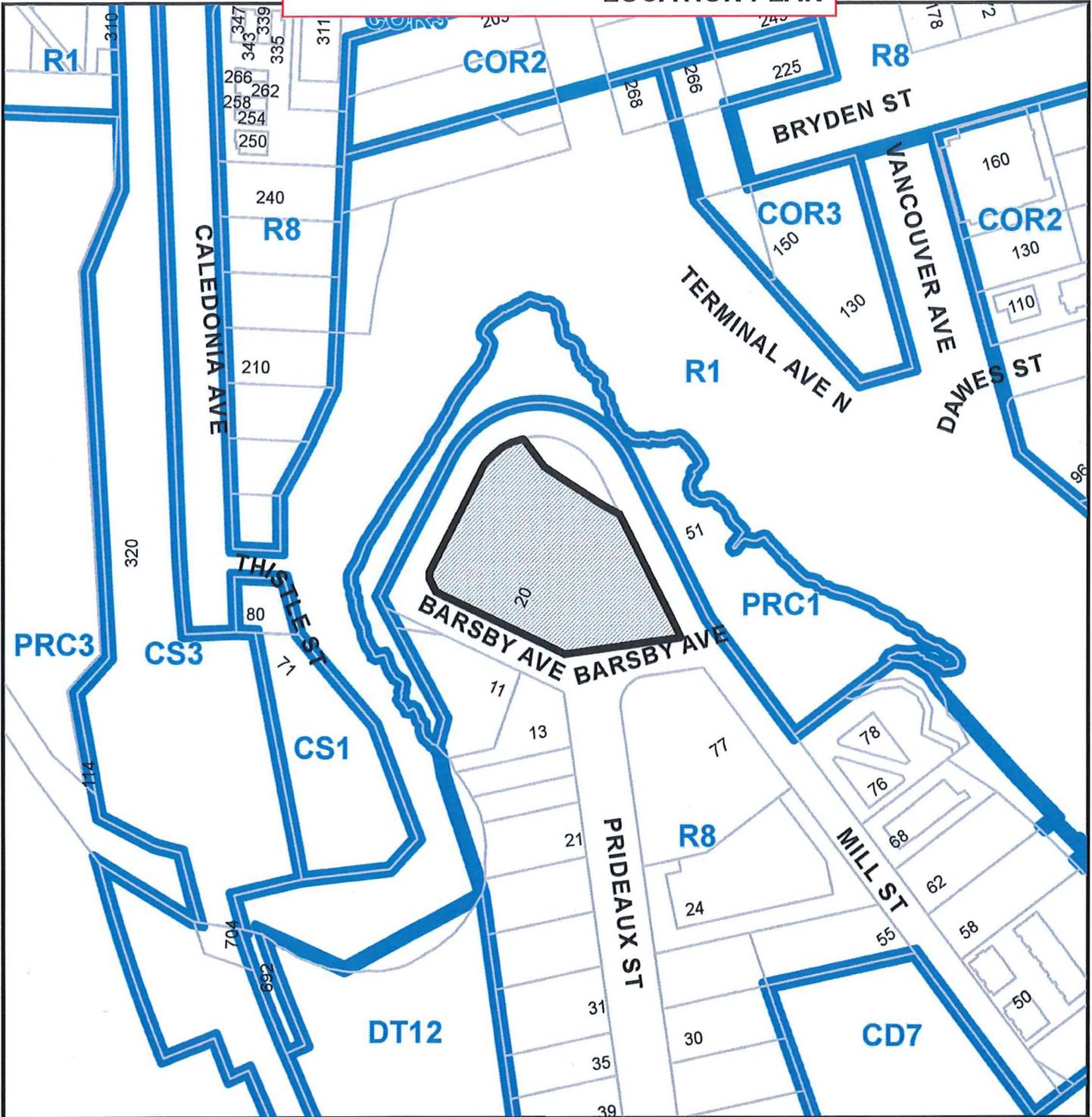
1. The subject property shall be developed in accordance with the proposed Site Plan prepared by Turner & Associates Land Surveying, dated 2021-FEB-22, as shown on Schedule B.
2. The development is in substantial compliance with the Retaining Wall Section and Details prepared by Lewkowich Engineering Associates Ltd., dated 2021-MAR-02, as shown on Schedule C.
3. Riparian vegetation planting at a density of 1 plant / 0.75m<sup>2</sup> within the riparian setback area as outlined in Schedule D, and is to be maintained for a 3-year maintenance period after installation.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 21ST DAY OF SEPTEMBER, 2021.

  
Corporate Officer

  
Date

**LOCATION PLAN**



**DEVELOPMENT PERMIT APPLICATION NO. DP001227**



**Subject Property**

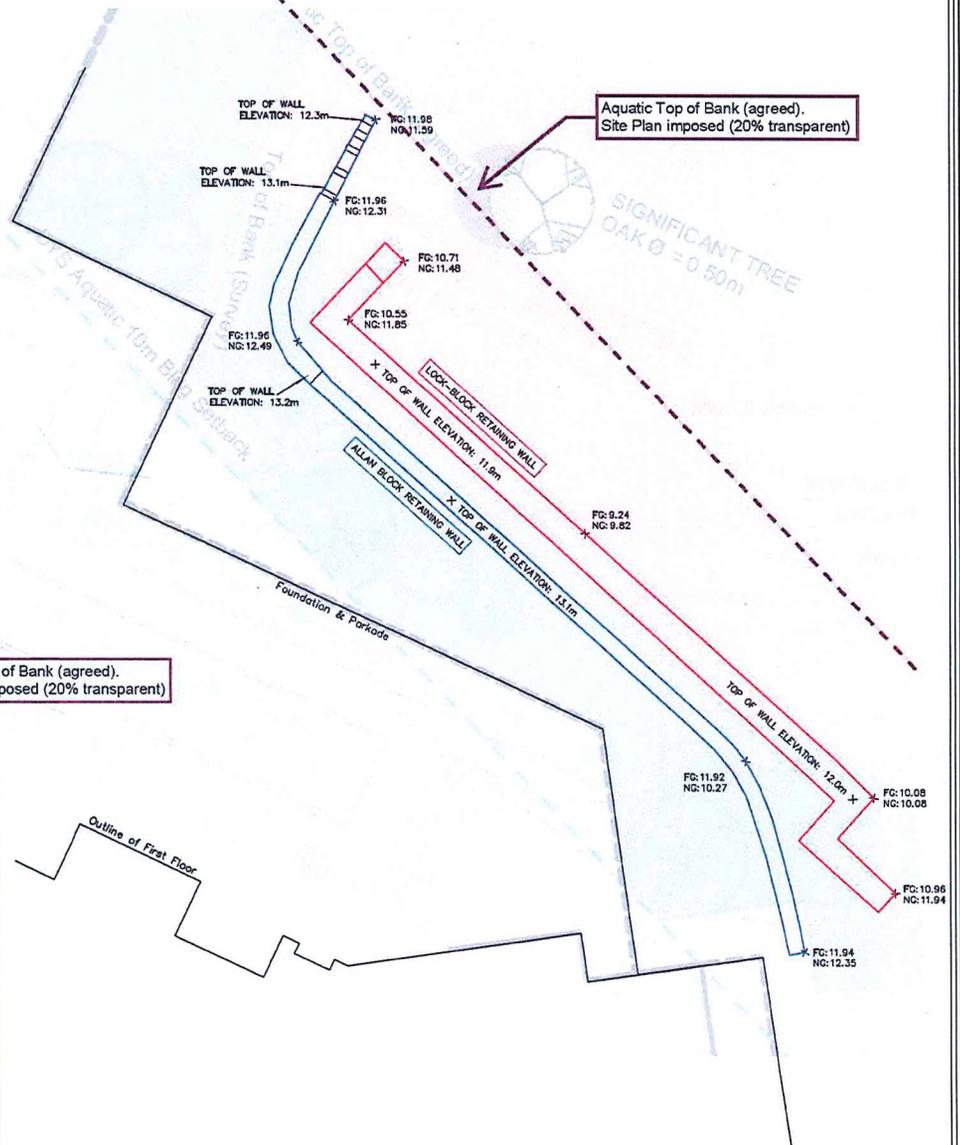
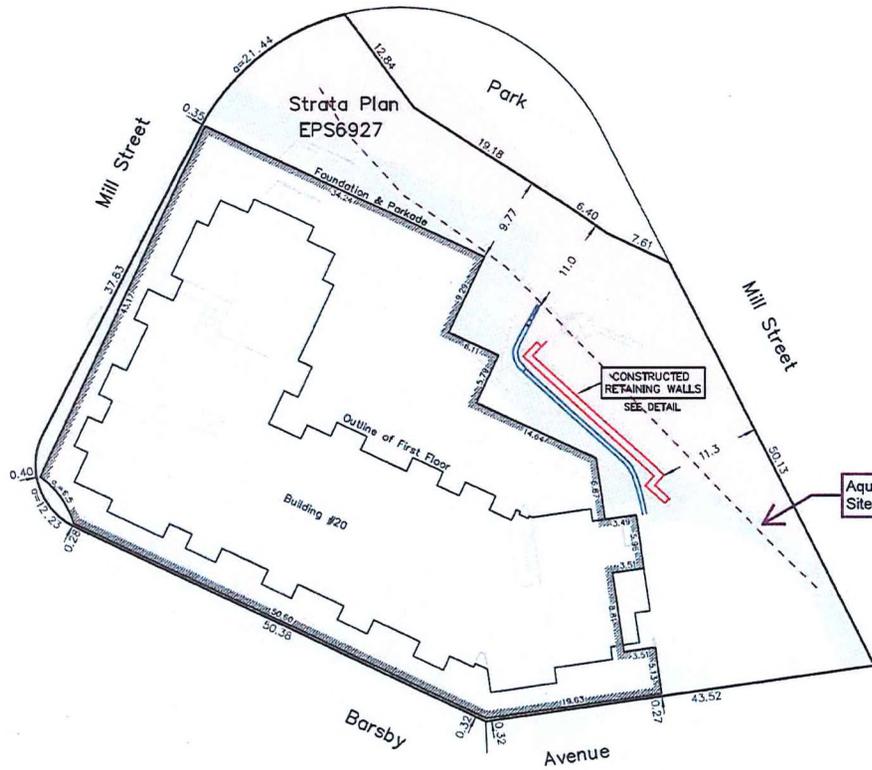
CIVIC: 20 BARSBY AVENUE

LEGAL: STRATA LOTS 1-90, SECTION 1, NANAIMO DISTRICT, STRATA PLAN EPS6927, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V

**SITE PLAN**



SCALE 1:100  
DISTANCES AND ELEVATIONS ARE IN METRES.  
GEODETTIC ELEVATIONS ARE DERIVED FROM CONTROL MONUMENT 77H5055.

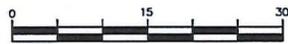


THIS SITE PLAN SHOWS THE RELATIVE LOCATION OF THE EXISTING AND PROPOSED STRUCTURES/IMPROVEMENTS WITH RESPECT TO THE BOUNDARIES OF THE DESCRIBED PARCEL ONLY.

THIS SITE PLAN SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY FOR AND HEREBY DISCLAIMS ALL OBLIGATIONS AND LIABILITIES FOR DAMAGES ARISING OUT OF OR IN CONNECTION WITH ANY DIRECT OR INDIRECT USE OR RELIANCE UPON THE SITE PLAN BEYOND ITS INTENDED USE.

**NOTE:**  
THE REGISTERED TITLE OF THIS PROPERTY IS AFFECTED BY THE FOLLOWING LEGAL NOTATIONS AND REGISTERED CHARGES, LIENS AND INTERESTS:  
C4756531, C46941108, C48681279, FR401282, FR467184, U76301, CA7671563 & CA7671564.  
THIS SITE PLAN DOES NOT VERIFY COMPLIANCE WITH THE ABOVE NOTED DOCUMENTS.



SCALE 1:400  
DISTANCES AND ELEVATIONS ARE IN METRES.  
GEODETTIC ELEVATIONS ARE DERIVED FROM CONTROL MONUMENT 77H5055.

SITE PLAN SHOWING CONSTRUCTED RETAINING WALLS SITUATED ON:  
STRATA PLAN EPS6927,  
SECTION 1, NANAIMO DISTRICT.

Certified correct this 22nd day of February, 2021.

\_\_\_\_\_, B.C.L.S.

(This document is not valid unless originally signed and sealed.)

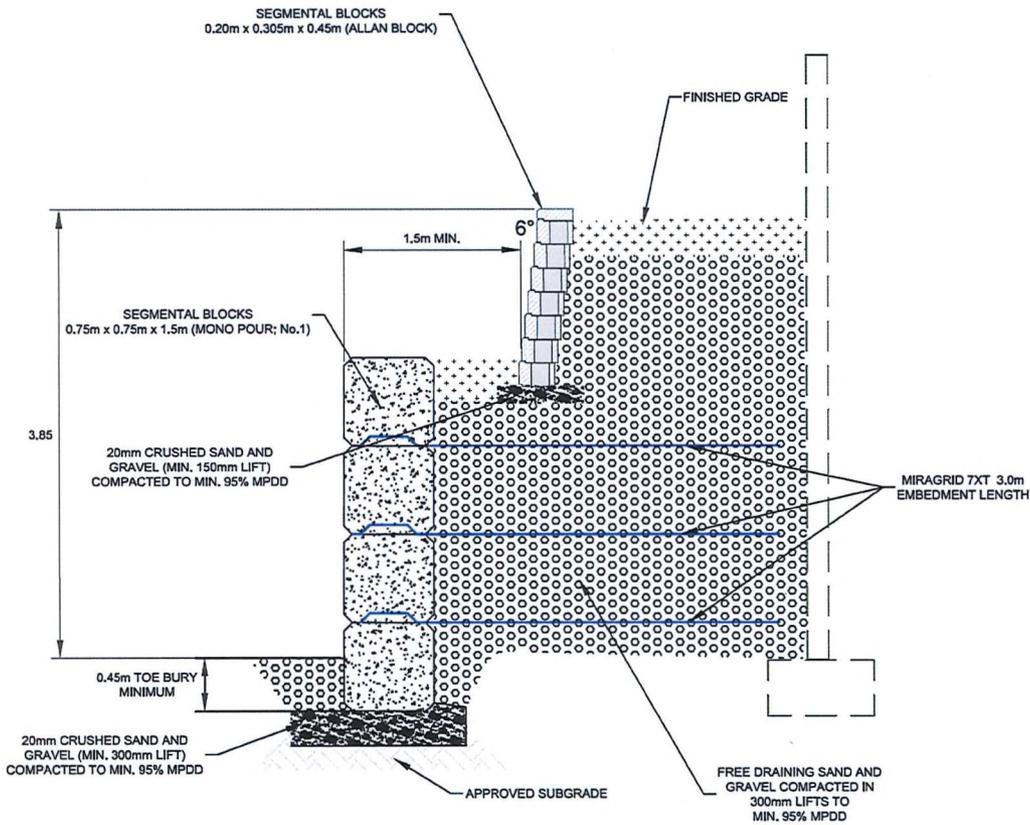
Client: WESTMARK CONSTRUCTION LTD.      Office Address: 20 BARSBY AVENUE, NANAIMO

File: 13-080      Scale: 1:400      Drawn by: DRW      Property Zoning: RB

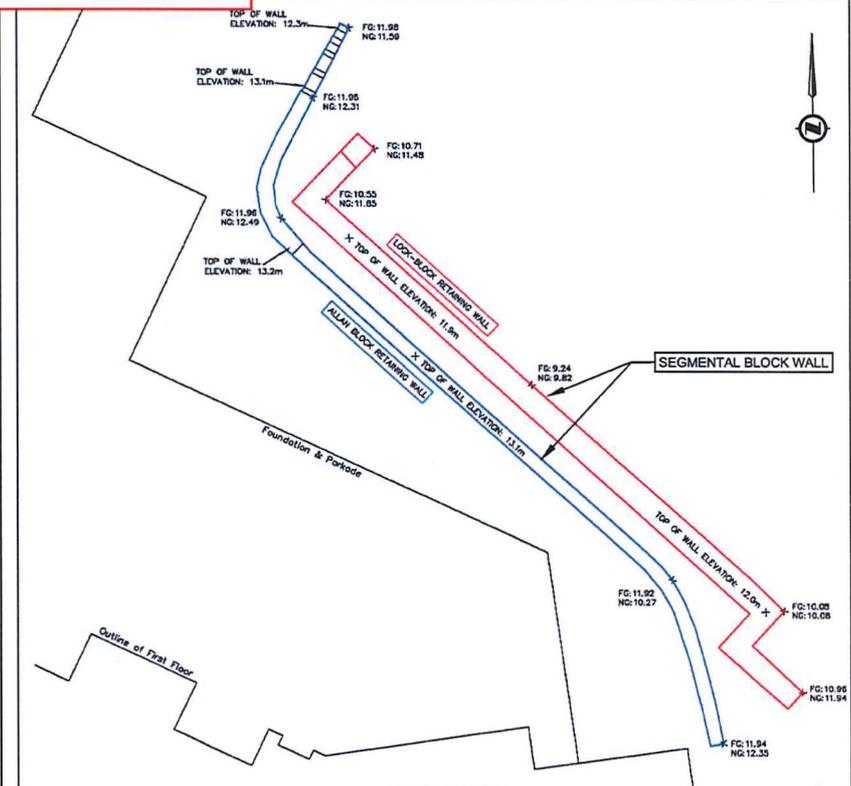
RECEIVED  
DP1227  
2021-MAR-02  
Current Planning

Turner & Associates  
land surveying  
250.753.9778  
435 Terminal Avenue North  
Nanaimo, BC V9S 4J8  
www.turnersurvey.ca

Development Permit No. DP001227 Schedule C  
 20 Barsby Avenue  
**RETAINING WALL SECTION AND DETAILS**



**TYPICAL SECTION**  
1:40



SITE PLAN IMPORTED FROM:  
TURNER & ASSOCIATES LAND SURVEYING

**GENERAL NOTES:**

1. GEOTECHNICAL INSPECTIONS:
  - 1.1. BEARING (SUBGRADE)
  - 1.2. BACKFILL COMPACTION
2. SEGMENTAL BLOCKS; 0.75m X 0.75m X 1.5m MONO POUR ONLY
3. BLOCKS ASSEMBLED IN A RUNNING BOND PATTERN
4. RETAINING WALLS SHOULD NOT BE ALTERED ONCE INSTALLED
5. DRAINAGE THROUGH FREE DRAINING SOILS AND HOLES IN SEGMENTED WALLS TO GROUND

**DESIGN NOTES:**

1. SEGMENTAL BLOCKS 0.75m X 0.75m X 1.5m, WITH INTERLOCKING NODULES.
2. SEGMENTAL BLOCKS 0.20m X 0.30m X 0.45m, ALLAN BLOCK, 6 DEG. MAXIMUM 1.2m HIGH, NO REINFORCEMENT REQUIRED.
3. RETAINED SOIL,  $\phi = 35^\circ$ ,  $\gamma = 20 \text{ kN/m}^3$
4. BEARING SOIL,  $\phi = 40^\circ$ ,  $\gamma = 20 \text{ kN/m}^3$
5. SURCHARGE = ALLAN BLOCK LANDSCAPE WALL
6. SR WALL VER. 3.22, NCM METHOD A, MSEW 3.0

REV No.	DATE	BY	P.Eng.	REVISION DESCRIPTION
01	02-03-21	JH	CH	Record Drawing

LEGEND
<p style="text-align: center;"><b>RECEIVED</b>  <b>DP1227</b>  <b>2021-MAR-02</b>  <small>COURTESY: PLANNING</small></p>

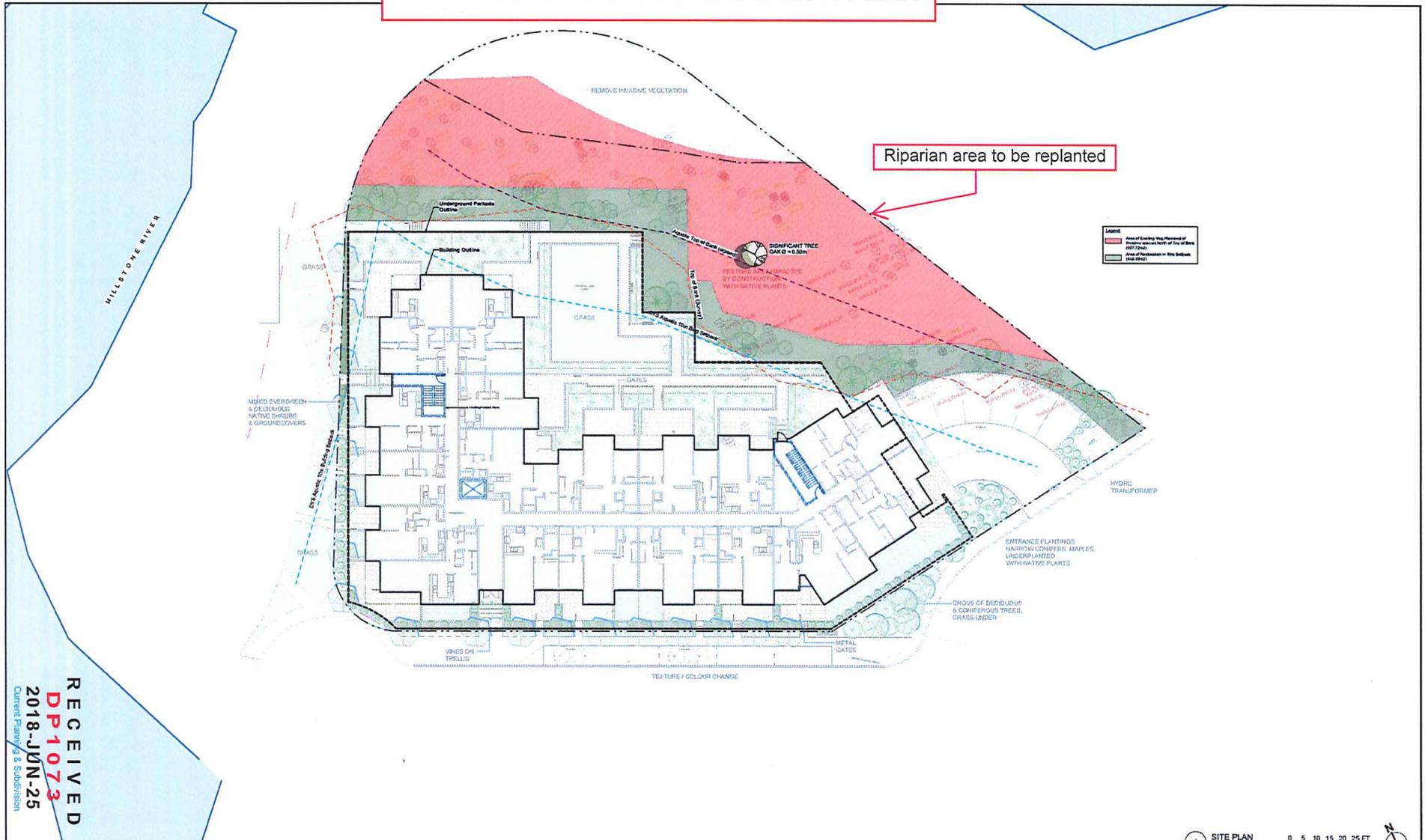
<b>DRAWING TITLE</b>	SEGMENTAL BLOCK RETAINING WALL
<b>PROJECT NAME</b>	RIVERSTONE PLACE 20 BARSBY AVENUE, NANAIMO, BC
<b>LEGAL DESCRIPTION</b>	STRATA LOT 12, SECTION 1, NANAIMO DISTRICT STRATA PLAN EPS8627 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V



<b>PLOT DATE</b>	2021-03-01	<b>DRAWN BY</b>	JH
<b>REVIEWED BY</b>	CH	<b>SCALE</b>	AS NOTED
<b>PROJECT No.</b>	F9050	<b>DRAWING No.</b>	F9050-01



Development Permit No. DP001227 Schedule D  
 20 Barsby Avenue  
**VEGETATION COMPOSITION PLAN**



**RECEIVED**  
**DP 1073**  
**2018-JUN-25**  
 Current Planning & Subdivision

1 SITE PLAN  
 Scale: 1/16" = 1'-0"  
 0 5 10 15 20 25 FT

  
**RAYMOND de BEELD ARCHITECT INC.**  
 755 Terminal Ave. North, Nanaimo, BC, V9S 4K1  
 Tel: (250) 754-2788; Fax: (250) 754-2118  
 Email: info@rdbarchitect.ca  
 www.rdbarchitect.ca

PROJECT CLIENT: **RIVERSTONE PLACE**  
 20 Barsby Ave., Nanaimo, BC  
 LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 5106 EXCEPT VIP82971,  
 LOT B, SECTION 1, NANAIMO DISTRICT, PLAN 5106

SHEET TITLE		No.		Date		Issue Notes		No.		Date		Revision Notes	
SITE PLAN VEGETATION COMPOSITION													

Do not issue drawings. Contractor shall verify all dimensions of the work and report any discrepancies to the architect before proceeding. This drawing is not to be used for construction and clearance and signed by the architect.  
 As an instrument of service, this drawing is the property of the architect and must not be reproduced without permission. This drawing is for the use of the specified project only and shall not be used otherwise without written consent of the architect.

DRAWN: -	CHECKED: RUB
JOB No: 1720	SHEET No: A1.3
SCALE: As Noted	
DATE: June 20, 2018	
CDP# 1720 Riverstone Place 2B - Plans.vw	